

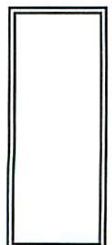


Internal Rating: NE

WEST VIRGINIA HISTORIC PROPERTY INVENTORY FORM

Street Address Christian Church Rd.	Common/Historic Name/Both ☒ Farm ☐ ☐	Field Survey # HM-1405	Site # (SHPO Only)
Town or Community Capon Bridge, Vicinity	County Hampshire	Negative No.	NR Listed Date
Architect/Builder	Date of Construction ca.1900	Style Vernacular	
Exterior Siding/Materials Vinyl	Roofing Material Standing-seam Metal	Foundation Not Visible	
Property Use or Function Residence☒ Commercial☐ Other☐	UTM# NAD83 / UTM zone 17N E 720250.329341011 N 4348859.99056742		
Survey Organization & Date The Louis Berger Group, Inc. 3/7/2011	Quadrangle Name Capon Springs, WV Part of What Survey/FR# Dominion Mount Storm-Doubs 500kV Rebuild/FR# 11-250-Multi		

Sketch Map of Property
Or Attach Copy of USGS Map



Site No.

Present Owners 	Owners Mailing Address
Phone # 	
Describe Setting This property is located on the west side of CR 13/5 on a large and mostly flat parcel with fenced pasture and scattered trees. A gravel driveway leads west into the property from the county road.	
_____ Acres _____ Archaeological Artifacts Present	
Description of Building or Site (Original and Present) _____ 2 _____ Stories _____ 3 _____ Front Bays The primary resource is a ca. 1900 two-story wood-frame dwelling with a side-gable standing-seam metal roof and an exterior brick end chimney. The metal roof does not appear to be original. The house has been clad with vinyl siding and the windows are 6/6 double-hung, many of them in banks of two or three. Contemporary sliding windows have also been added at the second story on the west side and rear (south) elevations. The one-story hipped-roof front porch has been completely enclosed and there is a recessed one-story porch at the southwest corner on the rear elevation.	
<i>(Use Continuation Sheets)</i>	
Alterations	☒ Yes ☐ No If yes, describe Replacement siding, roofing, and windows; modifications to front porch.
Additions	☐ Yes ☒ No If yes, describe
Describe All Outbuildings In addition to the dwelling there are a number of secondary resources including a vacant secondary dwelling, two barns, a machine/equipment shed, four outbuildings, and a privy. The secondary dwelling is located to the southeast of the dwelling, on the opposite side of the driveway. It is a one-story wood frame building with a non-original standing-seam metal front gable roof, weatherboard cladding, 6/6 double-hung wood sash windows, and a full-width shed roof front porch that has been partially enclosed. The building stands neglected and in deteriorating condition. See Continuation Sheet.	
<i>(Use Continuation Sheets)</i>	
Statement of Significance It is the opinion of the surveyor that this ca. 1900 dwelling and outbuildings lack sufficient architectural and historical significance, and the property is not eligible for inclusion in the National Register. It does not possess characteristics of demonstrable significance with respect to design, construction or use of materials (Criterion C), and the house has been altered with replacement siding and windows and modifications to the front porch. As such, its architectural integrity has been compromised. It does not appear to be associated with significant broad patterns, events or persons (Criteria A and B). It has not yielded, nor is it likely to yield, information important to history or prehistory (Criterion D).	
<i>(Use Continuation Sheets)</i>	
Bibliographical References	
<i>(Use Continuation Sheets)</i>	
Form Prepared By: Megan Rupnik	
Date: 3/21/2011	
Name/Organization: The Louis Berger Group, Inc. Address: 801 E. Main Street, Richmond, VA 23219 Phone #: (804) 225-0348	



West Virginia Division of Culture and History
State Historic Preservation Office

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WEST VIRGINIA HISTORIC PROPERTY FORM

CONTINUATION SHEET

NAME Farm Christian Church Rd.

SITE# HM-1405



Outbuildings Continued:

The machine/equipment shed is located to the northwest of the dwelling, at the end of the driveway. It is a one-story, four-bay building with a side gable standing-seam metal roof and concrete block end walls. The south elevation is open and the gables are clad with weatherboards.

The larger of the two barns is located to the south of the machine/equipment shed, on the west side of the driveway. It is a 1 1/2-story wood frame building with a standing-seam metal gable roof and vertical board siding. The second barn is located to the east, on the south side of the driveway. It is a two-story concrete block building with a standing-seam metal gable roof. The gables are clad with wood shingles. The windows are 6/6 double-hung wood sash, and a sliding barn-type door is located at the first story on the east gable end.

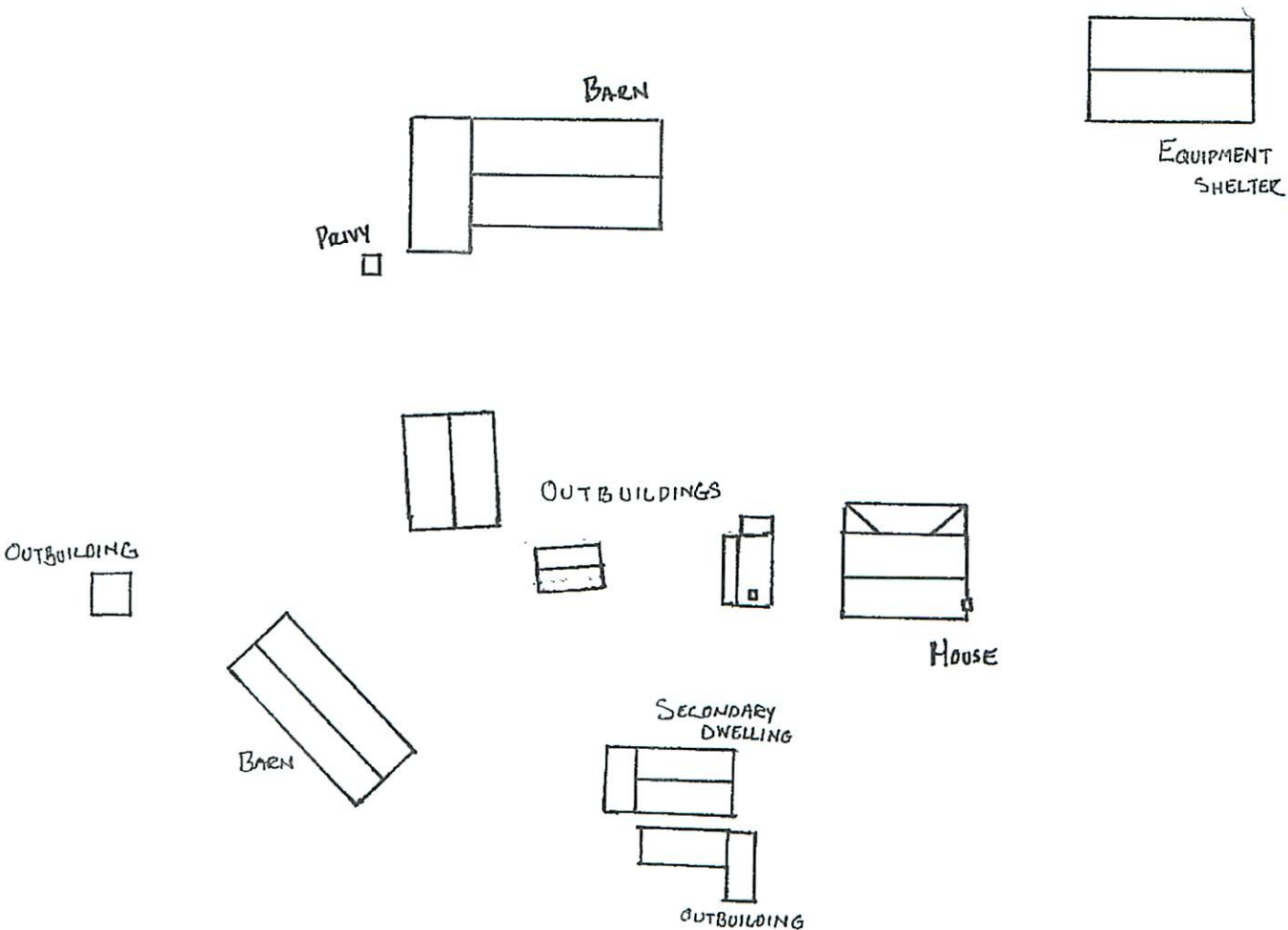
There are four wood frame outbuildings with standing-seam metal shed roofs and weatherboard cladding. Three are one story in height are clustered around the dwelling and secondary dwelling; the two larger ones have multiple-light double-hung and fixed sash wood windows. The one located near the southwest corner of the dwelling has an interior brick chimney. The fourth outbuilding, located to the west of the concrete block barn, is 1 1/2 stories in height.

The one-story wood frame privy has weatherboard cladding and a shed roof and is located southwest of the dwelling.

WEST VIRGINIA HISTORIC PROPERTY FORM CONTINUATION SHEET

NAME Farm, Christian Church Rd. (CR 1-3) SITE# HM-1405

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CHRISTIAN CHURCH RD.